

1.0 CONDITIONS OF CONTRACT
 1.1 THESE DOCUMENTS AND NOTES ARE INTENDED TO BE SUPPLEMENTED BY AN OWNER/CONTRACTOR AGREEMENT AIA A101 OWNER/CONTRACTOR AGREEMENT AND GENERAL CONDITIONS A201.
 1.2 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION IN REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES DURING BIDDING AND CONSTRUCTION PHASES.

2.0 GENERAL
 2.1 SCOPE OF WORK INCLUDES ALL WORK REQUIRED AS DEFINED IN THE CONSTRUCTION DOCUMENTS .
 2.2 CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT THE OWNERS EXISTING PROPERTY FROM DAMAGE DUE DIRECTLY OR INDIRECTLY FROM THE CONTRACTORS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SUCH DAMAGE.
 2.3 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INJURY AND DAMAGE OF ANY KIND RESULTING FROM THIS WORK, TO PERSONS OR PROPERTY .
 2.4 RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE CONTRACTOR'S RESPONSIBILITY.
 2.5 FINAL PAYMENT SHALL NOT BE MADE UNTIL ALL NECESSARY AFFIDAVITS, CERTIFICATION, AGENCY APPROVALS AND INSURANCE CONDITIONS OF THIS CONTRACT HAVE BEEN FULFILLED TO THE SATISFACTION OF THE OWNER. APPLICABLE REQUIREMENTS OF THE GENERAL CONDITIONS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING:
 A. FINAL CLEANUP.
 B. COMPLETION OF ALL PUNCH LIST ITEMS.
 C. SUBMISSION OF WAIVERS OF LIEN COVERING THIS CONTRACTOR AND HIS SUBCONTRACTORS AND SUPPLIERS.
 D. COMPLETE SET OF TAGS, CHARTS, DIAGRAMS, INSTRUCTION BOOKLETS, ETC. AS REQUIRED FOR MECHANICAL AND ELECTRICAL INSTALLATIONS.
 E. SUBMISSION OF ALL BUILDING DEPARTMENT APPROVALS AND CERTIFICATIONS.
 F. WARRANTIES IN THE NAME OF THE OWNER, PRODUCT INFORMATION AND COPIES OF SUBMITTALS.
 2.6 THIS JOB IS DESIGN/BUILD FOR THE SPRINKLER SYSTEM. CONTRACTORS ARE REQUIRED TO FINALIZE THE DESIGN OF THEIR RESPECTIVE SYSTEMS FOR FULL AND PROPER OPERATIONS ACCORDING TO THE APPLICABLE LAWS AND SPECIFICATIONS, IN ORDER TO SATISFY INTENDED FUNCTION AND DESIGN OF MECHANICAL AND ELECTRICAL DRAWINGS PROVIDED HERE. PROVIDE AND INSTALL ALL REQUIRED ELEMENTS OF THESE SYSTEMS FOR FULL OPERATION ACCORDING TO THE NOTES HEREIN AND IN ACCORDANCE WITH THE APPLICABLE CODES. PROVIDE DESIGN LAYOUTS AND EQUIPMENT SUBMITTALS TO ARCHITECT AND OWNER FOR REVIEW BEFORE ORDERING OR INSTALLATION. SYSTEMS DESIGN DRAWINGS, MANUFACTURERS PRODUCT SHEETS AND SHOP DRAWINGS FOR ALL REQUIRED SYSTEMS AND PRODUCTS ARE TO BE PROVIDED FOR ARCHITECTS AND OWNER'S REVIEW WITHIN 15 DAYS AFTER SIGNING OF THE CONTRACT BETWEEN THE OWNER AND GENERAL CONTRACTOR.
 2.7 CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO THE BUILDING 2 MEANS OF EGRESS AT ALL TIMES. AREA TO BE CLEARED OF DEBRIS, PARTITIONED OFF AND LIT FOR CONTINUAL ACCESSIBILITY OF TWO EXITS. TWO EXITS NEED TO BE PROVIDED DURING THE CONSTRUCTION AND DEMOLITION.

3.0 DOCUMENTS
 3.1 THESE DOCUMENTS HAVE BEEN COMPILED WITH THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS, NOT INDICATED IN THE DOCUMENTS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED ALL CONDITIONS, DIMENSIONS, AND OTHER INFORMATION HEREIN SUPPLIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITIONS OR DISCREPANCIES PRIOR TO BEGINNING THEIR WORK.
 3.2 ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS, ALL SHOP DRAWINGS AND EXISTING CONDITIONS. ANY INCONSISTENCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL RESOLVE AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE ARCHITECT, ANY AND ALL CONFLICTS BETWEEN THE WORK OF THE VARIOUS TRADES ARISING FROM ERRORS IN COORDINATION BETWEEN TRADES.

4.0 CONDITIONS OF WORK
 4.1 CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, AND SHALL PAY AND OBTAIN BUILDING PERMITS AND ALL NECESSARY APPROVALS. CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS FOR CONSTRUCTION FROM THE MUNICIPAL AGENCIES HAVING JURISDICTION, PRIOR TO COMMENCEMENT OF WORK, AT HIS OWN EXPENSE.
 4.2 CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.

5.0 DEMOLITION
 5.1 THE GENERAL CONTRACTOR SHALL PERFORM DEMOLITION WORK AS REQUIRED TO COMPLETE CONSTRUCTION DESCRIBED IN THE DOCUMENTS. BEFORE UNDERTAKING DEMOLITION, ALL SERVICES ARE TO BE MADE SAFE FOR DEMOLITION.

6.0 GENERAL CONSTRUCTION PARAMETERS
 6.1 UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE CLEAR FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL OR OPENING.
 6.2 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS. ANY VARIATIONS IN SIZES, FLOOR LEVELS, DUCT OR PIPE LOCATIONS, WINDOW SILL HEIGHTS, OR ANY OTHER EXISTING WHICH MAY BE AT VARIANCE WITH THE ARCHITECTURAL DRAWINGS SHALL BE REPORTED TO THE ARCHITECT BEFORE THE BEGINNING OF CONSTRUCTION
 6.3 THE GENERAL CONTRACTOR SHALL PROVIDE ALL ACCESS PANELS (FIRE RATED AND SIZED AS REQUIRED), AT WALLS AND CEILINGS WHERE MECHANICAL, PLUMBING OR ELECTRICAL ACCESS IS NECESSARY PER CODE, OR AS REQUIRED BY EQUIPMENT MANUFACTURER'S RECOMMENDATION. ARCHITECT TO APPROVE LOCATION AND SIZE OF ALL ACCESS PANELS NOT SHOWN ON ARCHITECTURAL DRAWINGS.
 6.4 WALL PENETRATIONS SHALL NOT INTERFERE WITH REQUIRED FIRE RATINGS. ALL FIRE-RATED SHAFT WAYS OR OTHER RATED ELEMENTS WHICH PASS THROUGH THE LIMITS OF THE WORK ARE TO BE MAINTAINED OR COMPLETED IN A PROPERLY RATED MANNER.
 6.5 PAINT ALL SCOPE, 3 COATS, SATIN FINISH, SAME QUALITY OR SUPERIOR TO BENJAMIN MOORE. (ALKYD IN WET AREAS.), COLORS TO BE APPROVED BY OWNER OR ARCHITECT.
 6.6 BLOCKING SHALL BE PROVIDED IN WALLS WHERE MOUNTING ANCHORAGE WILL BE REQUIRED. LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO, OPEN AND CLOSED SHELVING, CABINERY, COUNTERS AND TRIM. ALL WOOD BLOCKING SHALL BE FIRE RETARD ANT TREATED AS REQUIRED BY CODE AND FIRESTOPPED.
 6.7 ALL WORK TO BE EXECUTED TO FULFILL THE INTENDED DESIGN ACCORDING TO ACCEPTED INDUSTRY STANDARDS FOR THEIR FULL FUNCTIONING AND OPERATION.
 6.8 ALL WORK TO BE IN CONFORMANCE WITH THE 2015 IBC AND 780 CMR, MASSACHUSETTS, 9TH EDITION SUPPLEMENTS.
 6.9 ALL DESIGN & BUILD TRADES TO SUBMIT SHOP DRAWINGS 15 DAYS MAX AFTER SIGNING OF CONTRACT. ALL TRADES TO ADHERE TO AMERICAN STANDARD INSTITUTE (ASI) FOR THEIR RESPECTIVE DISCIPLINES, AND RULES AND REGULATIONS OF THEIR TRADE LICENSING AGENCIES.
 6.10 IF CONFLICTS OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS OR PRODUCTS, PROCEDURES, ETC., THE MORE STRINGENT DETAIL AND HIGHER QUALITY SHALL BE CONSIDERED THE INTENT OF THE CONTRACT DOCUMENTS. ARCHITECTS CONFORMATION IS REQUIRED.
 6.11 THE INTENT OF CONTRACT DOCUMENTS & RESPECTIVE DESIGN BUILD DISCIPLINES REPRESENT A COMPLETE INSTALLATION PER INDUSTRY AND TRADE STANDARDS FOR SIMILAR TYPES OF CONSTRUCTION IN THE GEOGRAPHIC REGION.

7.0 SHOP DRAWINGS/SUBMITTALS

7.1 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS. SAMPLES OF ALL FINISH MATERIALS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL, INCLUDING PAINT SAMPLE. ANY FINISHES THAT ARE PURCHASED BEFORE APPROVAL AND ARE SUBSEQUENTLY REJECTED ARE THE RESPONSIBILITY OF THE CONTRACTOR. NO SUBSTITUTIONS WILL BE CONSIDERED FOR PRODUCTS OR METHODS THAT CANNOT BE PROVIDED AS A RESULT OF CONTRACTOR'S FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER, PURSUE THE WORK PROMPTLY, OR TO COORDINATE THE VARIOUS ACTIVITIES PROPERLY.

7.2 THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIMES OF SUBMITTAL AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS BY THE ARCHITECTS APPROVAL THEREOF.

7.3 HVAC CONTRACTOR TO PROVIDE:
 7.3.1. DESIGN-BUILD SERVICES, ALL WORK TO BE IN COMPLIANCE W/ 780 CMR , INCLUDING LAYOUT/ INSTALLATION DRAWINGS WITH COMPLETE LISTING AND SIZES OF ALL EQUIPMENT PROPOSED FOR USE.
 7.3.2. UPON ACCEPTANCE SUBMIT THESE DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
 7.3.3. LOCATE TO SCALE ALL EQUIPMENT, PLUS SIZES AND ROUTING OF ALL DUCT WORK OR PIPING.
 7.3.4. GENERAL CONTRACTOR SHALL COORDINATE THIS LAYOUT WITH FRAMERS, PRIOR TO FRAMING.
 7.3.5. ACOUSTIC DUCT INSTALLATION FOR SUPPLY AND RETURN DUCTS WITHIN 10'-0" OF CONNECTION TO FORCED-AIR EQUIPMENT OR OTHERS.
 7.3.6. QUIET OPERATING EXHAUST FANS IN ALL TOILETS AND BATHROOMS, DUCTED TO EXTERIOR. PROVIDE MAKE-UP/COMBUSTION AIR PER CODE REQUIREMENTS, WITH PRE-HEAT.

7.4. PLUMBING & SPRINKLER CONTRACTORS TO PROVIDE DESIGN BUILD SERVICES.
 7.4.1. DESIGN BUILD SERVICES.
 7.4.1. ALL WORK TO BE IN COMPLIANCE W/ 248 CMR OF THE PLUMBING CODE.
 7.4.2. PROVIDE BUILDING INSPECTOR WITH ANY AND ALL REQUIRED DRAWINGS, I.E: RISER DIAGRAMS ETC. WITH PERMIT APPLICATION.
 7.4.3. SUBMIT A COMPLETE PROPOSED FIXTURE SCHEDULE FOR THE ARCHITECTS REVIEW AND APPROVAL.
 7.4.4. SEE SITE PLAN FOR LOCATIONS OF REQUIRED TIE-INS.
 7.4.5. ALL SUPPLY PIPING TO BE TYPE "L" COPPER MINIMUM 1/2" I.D. FOR BRANCH LINES AND MINIMUM 3/4" I.D. FOR ALL TRUNK LINES. INSULATE ALL LINES. ALL DRAINAGE LINES TO BE PVC OF SIZES AS REQUIRED BY CODE.
 7.4.6. VENT ALL FIXTURES, INCLUDING ANY BOW VENTS.
 7.4.7. PROTECTION OF TUB IS THIS CONTRACTOR'S RESPONSIBILITY.
 7.4.8. REVIEW SPECIFICS OF PIPE DISTRIBUTION WITH GENERAL CONTRACTOR AND FRAMING CONTRACTOR.
 7.4.9. FOLLOW CODE GUIDELINES FOR CUTTING AND NOTCHING FRAMING MEMBERS. SCHEDULE ALL INSPECTIONS IN A TIMELY MANNER.
 7.4.10. PROVIDE AUTOMATIC SPRINKLER FIRE PROTECTION SYSTEM AS REQUIRED PER 2015 IBC SECTION 903 & NFPA 13 CODE.
 7.4.11. PROVIDE COMPLETE DOCUMENTATION FOR OBTAINING THE BUILDING PERMIT.

7.5. DESIGN & BUILD SERVICES , ALL WORK TO BE IN COMPLIANCE W/ 527 CMR & NFPA 90 REQUIREMENTS.
 7.5.1. COORDINATE UTILITY COMPANY REQUIREMENTS WITH ARCHITECT AND SITE CONTRACTOR.
 7.5.2. COORDINATE ALL TRENCHING WITH GENERAL CONTRACTOR.
 7.5.3. SERVICE TO BE DESIGNED FOR 200 AMP WITH CIRCUIT BREAKER PANEL BOARD SIZED ADEQUATELY FOR EACH UNIT.
 7.5.4. COORDINATE WITH HVAC CONTRACTOR FOR A/C LOAD.
 7.5.5. REVIEW LAYOUT IN FIELD WITH ARCHITECT AND GENERAL CONTRACTOR TO VERIFY LOCATIONS OF ALL SWITCHING AND LIGHTING - SEE DIAGRAMMATIC SWITCHING PLANS.
 7.5.6. OWNER TO PROVIDE ALL LIGHTING FIXTURES AND APPLIANCES FOR CONTRACTOR TO INSTALL.
 7.5.7. PROVIDE PERMIT AND SCHEDULE ALL INSPECTIONS IN A TIMELY FASHION.
 7.5.8. PROVIDE SMOKE AND HEAT DETECTORS AS PER CODE REQUIREMENTS.

7.6. ALL DESIGN & BUILD TRADES TO SUBMIT SHOP DRAWINGS 15 DAYS MAX AFTER SIGNING OF CONTRACT. ALL TRADES TO ADHERE TO AMERICAN STANDARD INSTITUTE (ASI) FOR THEIR RESPECTIVE DISCIPLINES, AND RULES AND REGULATIONS OF THEIR TRADE LICENSING AGENCIES.

7.7. IF CONFLICTS OCCUR BETWEEN DWGS AND SPECS OR PRODUCTS, PROCEDURES, ETC., THE MORE STRINGENT DETAIL AND HIGHER QUALITY SHALL BE CONSIDERED THE INTENT OF THE CONTRACT DOCUMENTS. ARCHITECTS CONFORMATION IS REQUIRED.

7.8. THE INTENT OF CONTRACT DQCS & RESPECTIVE DESIGN BUILD DISCIPLINES REPRESENT A COMPLETE INSTALLATION PER INDUSTRY AND TRADE STANDARDS FOR SIMILAR TYPES OF CONSTRUCTION IN THE GEOGRAPHIC REGION.

STRUCTURAL FRAMING NOTES

1. JOISTS, RAFTERS AND STUDS SHALL GENERAL BE STRUCTURAL NO. 2 HEM-FIR, OR SPRUCE-PINE-FIR, WITH E=1500 KSI. ALIGN BEARING WALL STUDS DIRECTLY UNDER EACH JOIST, RAFTER, AND/OR TRUSS BEARING. ALL MATERIAL SHALL BE KILN-DRIED TO A MAXIMUM MOISTURE CONTENT OF 10 PERCENT. PROVIDE DOUBLE JOISTS BENEATH ALL BEARING WALLS THAT ARE PARALLEL TO FRAMING. COORDINATE WITH HVAC AND ELECTRICAL.
2. ZIP PANEL SHEATHING SHEATHING FOR ROOFS SHALL BE 5/8" CDX ZIP ROOF PANEL SHEATHING -- EITHER WITH "H-CLIPS" 12" O.C. OR TONGUE-AND-GROOVE EDGE PROFILES.
3. ZIP PANEL SHEATHING SHEATHING FOR WALLS SHALL BE 1/2" CDX ZIP PANEL SHEATHING -- EXCEPT USE 5/8" CDX ZIP PANEL SHEATHING AT MASONRY-VENEERED, EIFS, OR STUCCO-FINISHED WALLS OR SHEAR WALLS.
4. SUBFLOORING SHALL BE 3/4" CDX, T&G, APA-RATED "STURD-I-FLOOR" ZIP PANEL SHEATHING. GLUE AND SCREW SUBFLOORING TO JOISTS.
5. SOLID TIMBER BEAMS, POSTS, AND HEADERS BUILT-UP WITH 2X MEMBERS SHALL BE STRUCTURAL NO. 2 SPRUCE PINE FIR OR SOUTHERN YELLOW PINE, WITH MINIMUM FB=1500 PSI. SOLID-BLOCK POSTS DOWN TO CONCRETE FOUNDATION WALLS.
6. MINIMUM HEADERS FOR STUD BEARING WALLS SHALL CONFORM TO THE FOLLOWING SCHEDULE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. ZIP PANEL SHEATHING FOR BUILT-UP BEAMS SHALL BE STRUCTURAL NO. 1, IN 8'-0" LENGTHS X FULL DEPTH OF HEADER. JOINT ZIP PANEL SHEATHING AT 1/4 SPAN WHEN REQUIRED. PROVIDE JACK STUDS AND DOUBLE FULL-HEIGHT STUDS AT ALL BEARINGS

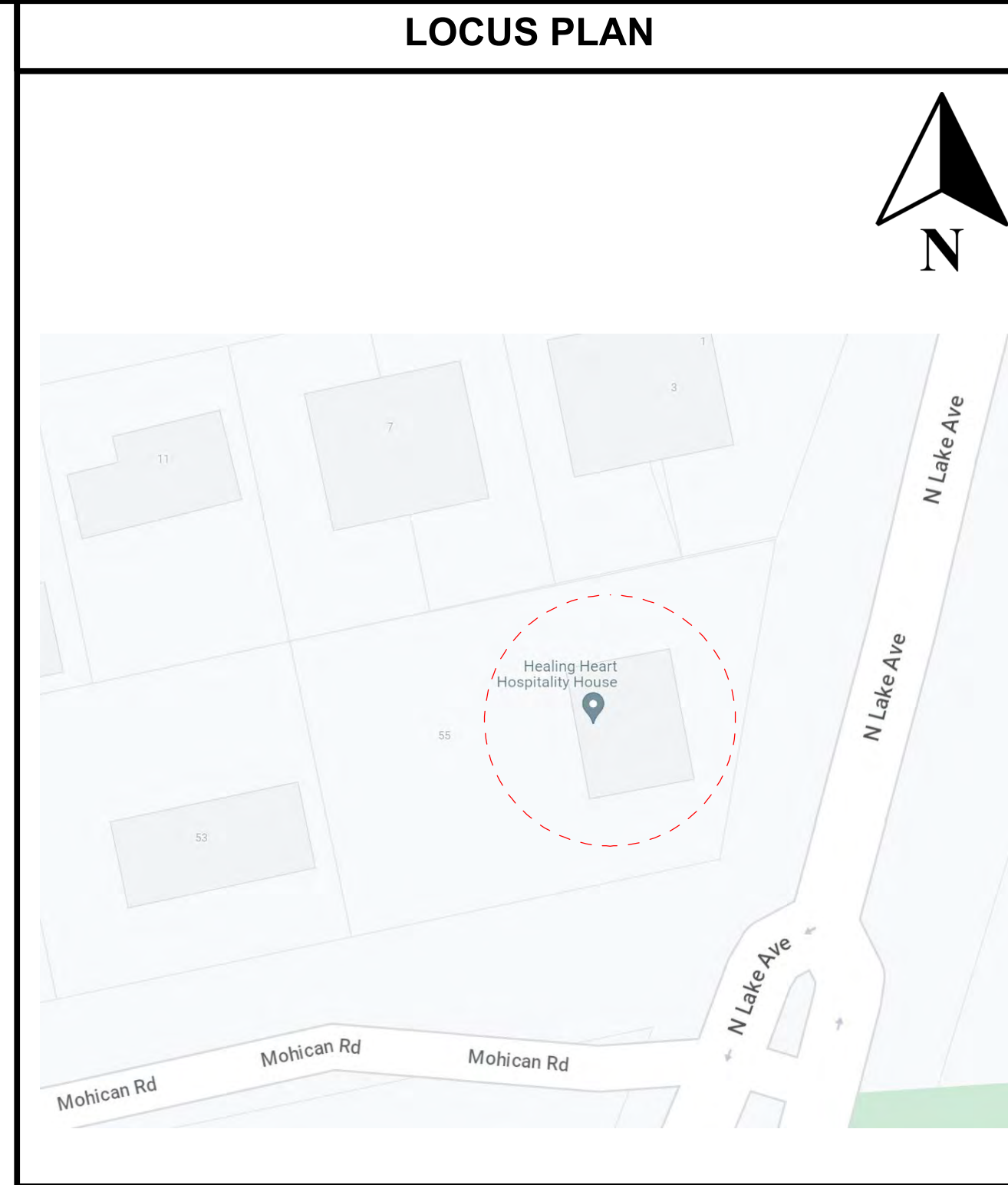
MAX. R.O.	ROOF ABOVE	FLOOR + ROOF ABOVE
3'-1"	(2) 2X6'S	(2) 2X8'S W/(1) 1/2" ZIP PANEL SHEATHING
5'-1"	(3) 2X8'S W/ (2) 1/2" PLYWOOD	(2) 2X10'S W/(1) 1/2" ZIP PANEL SHEATHING
7'-1"	(2) 2X10'S W/ 1/2" ZIP PANEL SHEATHING	(2) 2X12'S W/(1) 1/2" ZIP PANEL SHEATHING
9'-1"	(2) 2X12'S W/ 1/2" ZIP PANEL SHEATHING	(2) 9 1/2" X 1 3/4" LVL'S

- ALL LVL'S SHALL MEET THE FOLLOWING DESIGN STRESSES:
- MODULUS OF ELASTICITY E = 2,000,000 PSI
 - FLEXURAL STRESS FB = 3100 PSI
 - COMPRESSION PERPENDICULAR TO GRAIN PARALLEL TO GLUE LINE FC = 750 PSI
 - COMPRESSION PARALLEL TO GRAIN FC II = 2150 PSI
 - HORIZONTAL SHEAR PERPENDICULAR TO GLUE LINE FV = 285 PSI
 - COMPLY WITH ALL MANUFACTURER'S INSTALLATION DETAILS AND WRITTEN RECOMMENDATIONS.

7. CUTTING AND NOTCHING: WALLS-BEARING, NOT MORE THAN 25% OF WIDTH OF MEMBER; NON BEARING, NOT MORE THAN 40% OF WIDTH OF MEMBER.

8. ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE W/ MASS CODE 780 CMR APDX. C.

9. NAILS- COMMON WIRE, EXCEPT BARBED AT ZIP PANEL SHEATHING, GALVANIZED AT EXPOSED FRAMING. POWER DRIVEN NAILS TO CONFORM 780 CMR APDX. C.



LOCUS PLAN

BUILDING SUMMARY

BUILDING SUMMARY

NEW CONSTRUCTION:

10 UNITS APARTMENT BUILDING

85 LAKE AVE NORTH WORCESTER, MA

DRAWING LIST

Label	Title
T-1	TITLE SHEET, BLDG. SUMMARY & DWG LIST
T-1	PATH OF TRAVEL
L-1	PROPOSED SITE PLAN
A-0	PROPOSED - GROUND FLOOR PLAN
A-1	PROPOSED - GROUND FLOOR PLAN
A-2	PROPOSED - SECOND FLOOR
A-3	PROPOSED THIRD FLOOR PLAN
A-4	PROPOSED SECTION "A"
A-5	PROPOSED BUILDING ELEVATIONS
A-6	PROPOSED RENDERINGS
A-7	PROPOSED FLOOR PLANS

DRAWING LIST

DRAWING LIST

PROJECT NAME:
 NEW CONSTRUCTION:
 10 UNITS APARTMENT BUILDING
 85 LAKE AVE. NORTH WORCESTER, MA



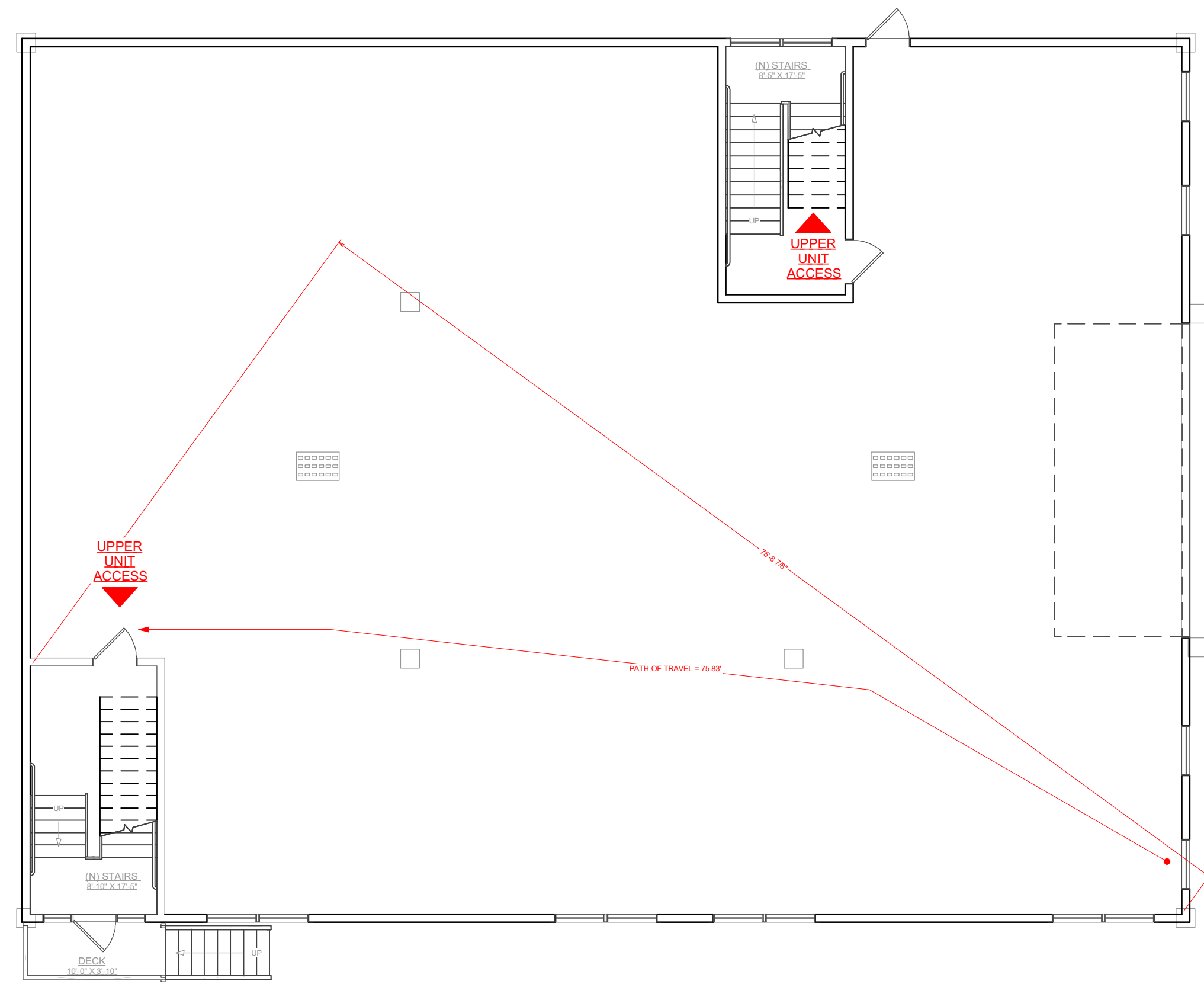
85 LAKE AVE NORTH WORCESTER, MA

REVISION TABLE		
NO.	DATE	DESCRIPTION

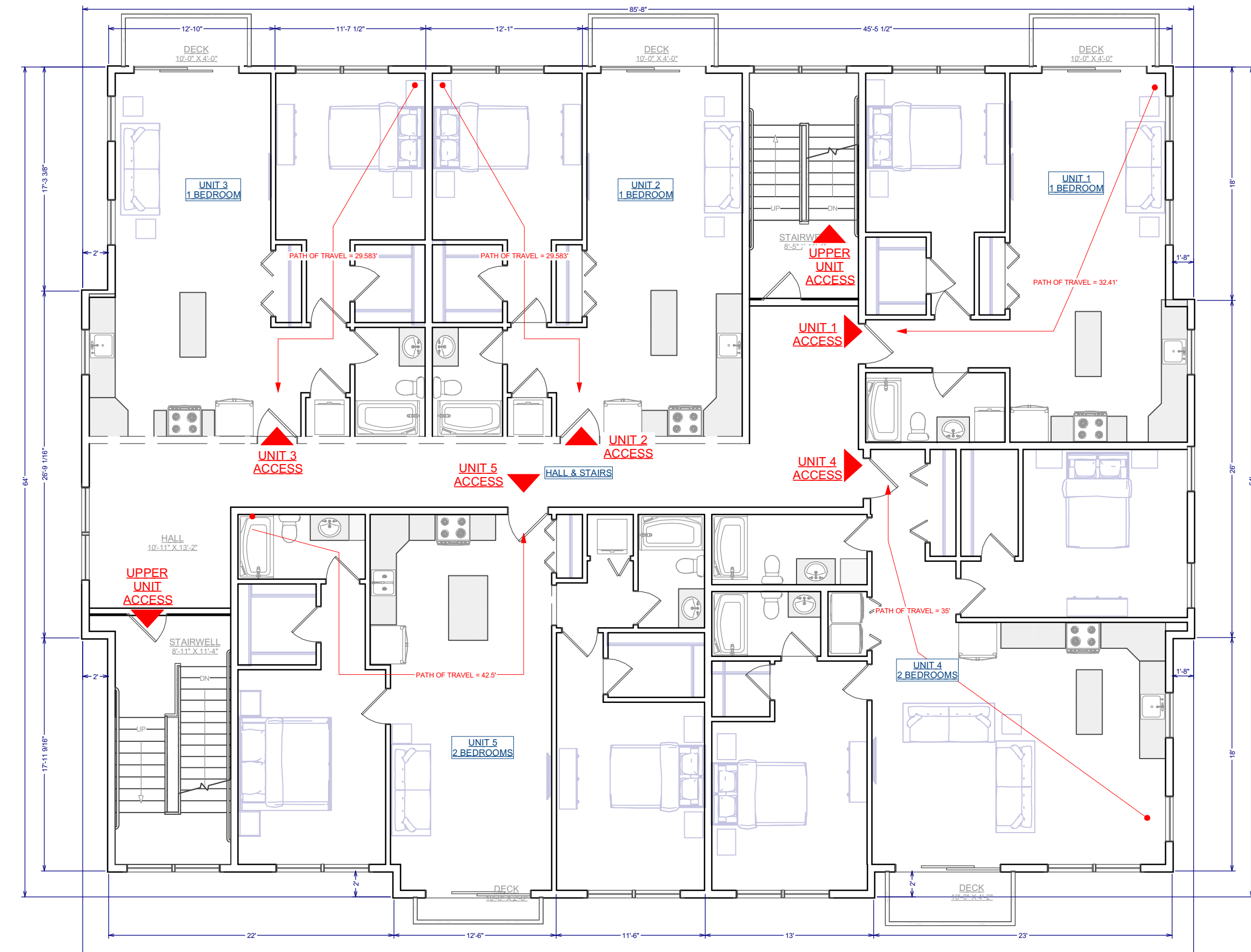
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PROPOSED NOT FOR CONSTRUCTION

DRAWING NAME:
TITLE SHEET, BLDG. SUMMARY & DWG LIST

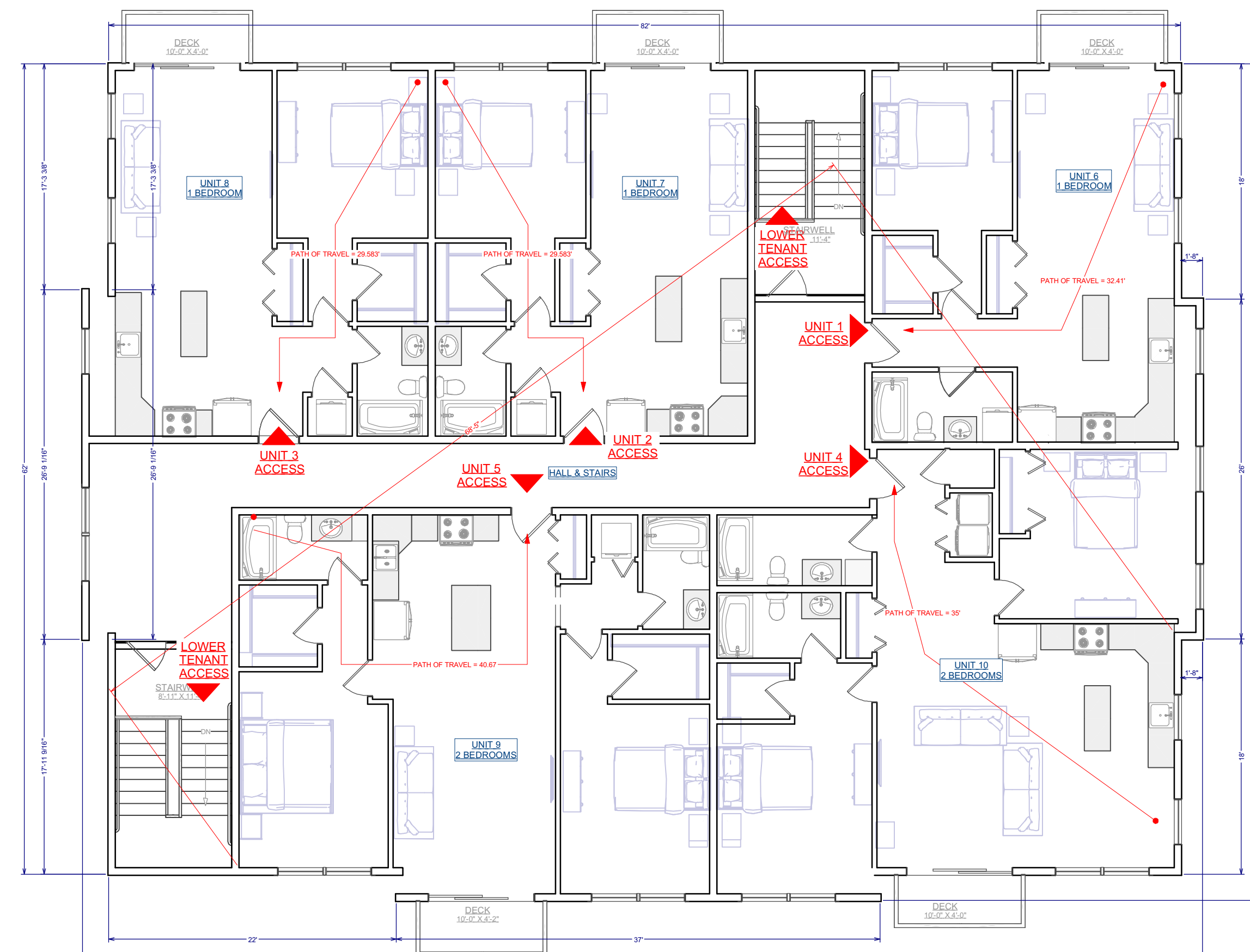
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 DRAWN BY: RH/AA
 SCALE: AS NOTED
 DATE: 3/4/2024
 SHEET NUMBER:
T-1



PATH OF TRAVEL - FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



PATH OF TRAVEL - SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



PATH OF TRAVEL - THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

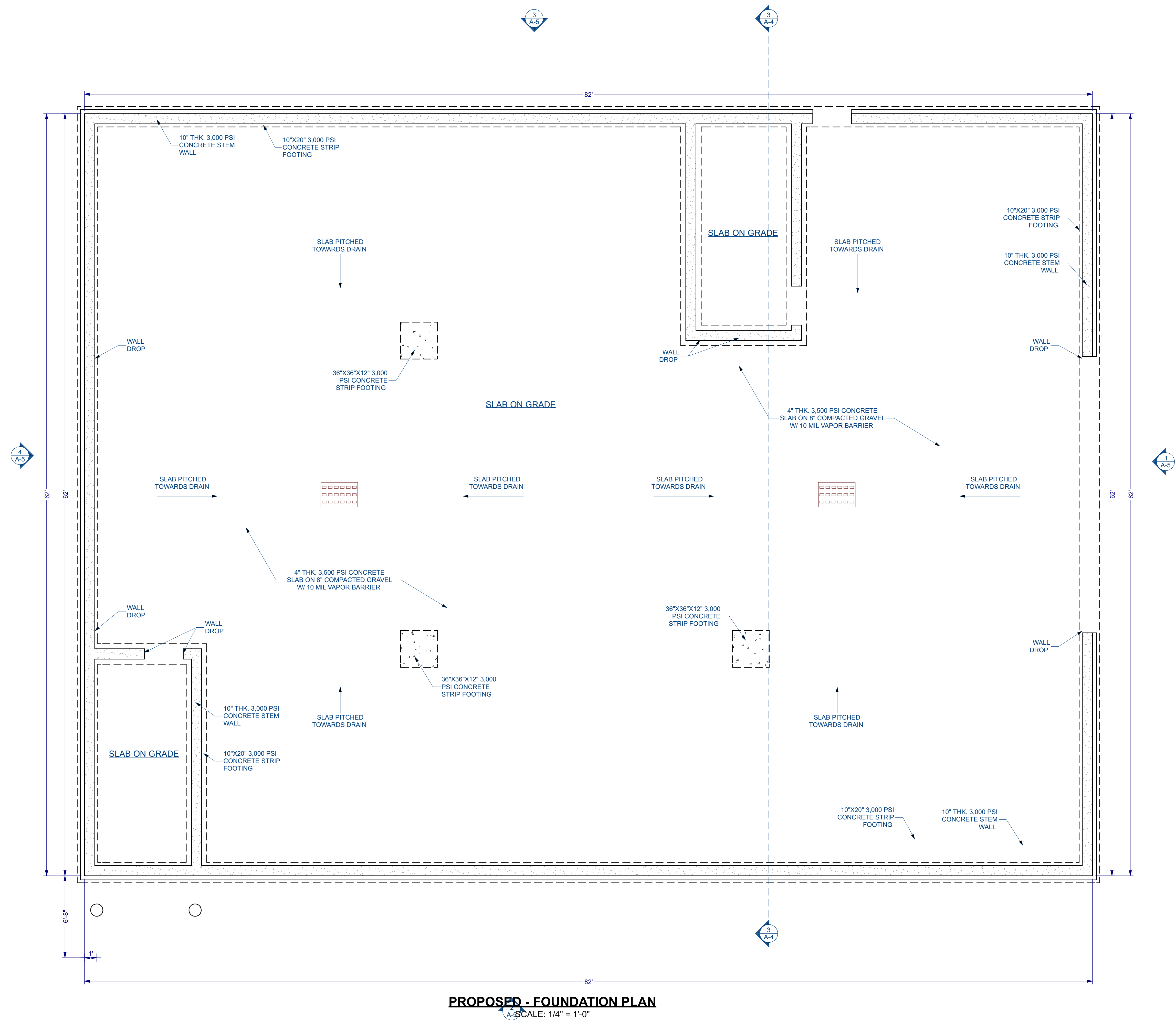
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NO.	DATE	DESCRIPTION

STAMP:
**PROPOSED
 NOT FOR
 CONSTRUCTION**

DRAWING NAME:
PATH OF TRAVEL

PROJECT NUMBER: 23-083
 SCALE: AS NOTED
 DRAWN BY: RH/AA
 DATE: 3/4/2024
 SHEET NUMBER:

T-1



PROPOSED - FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

REVISION TABLE		
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NOT FOR
CONSTRUCTION

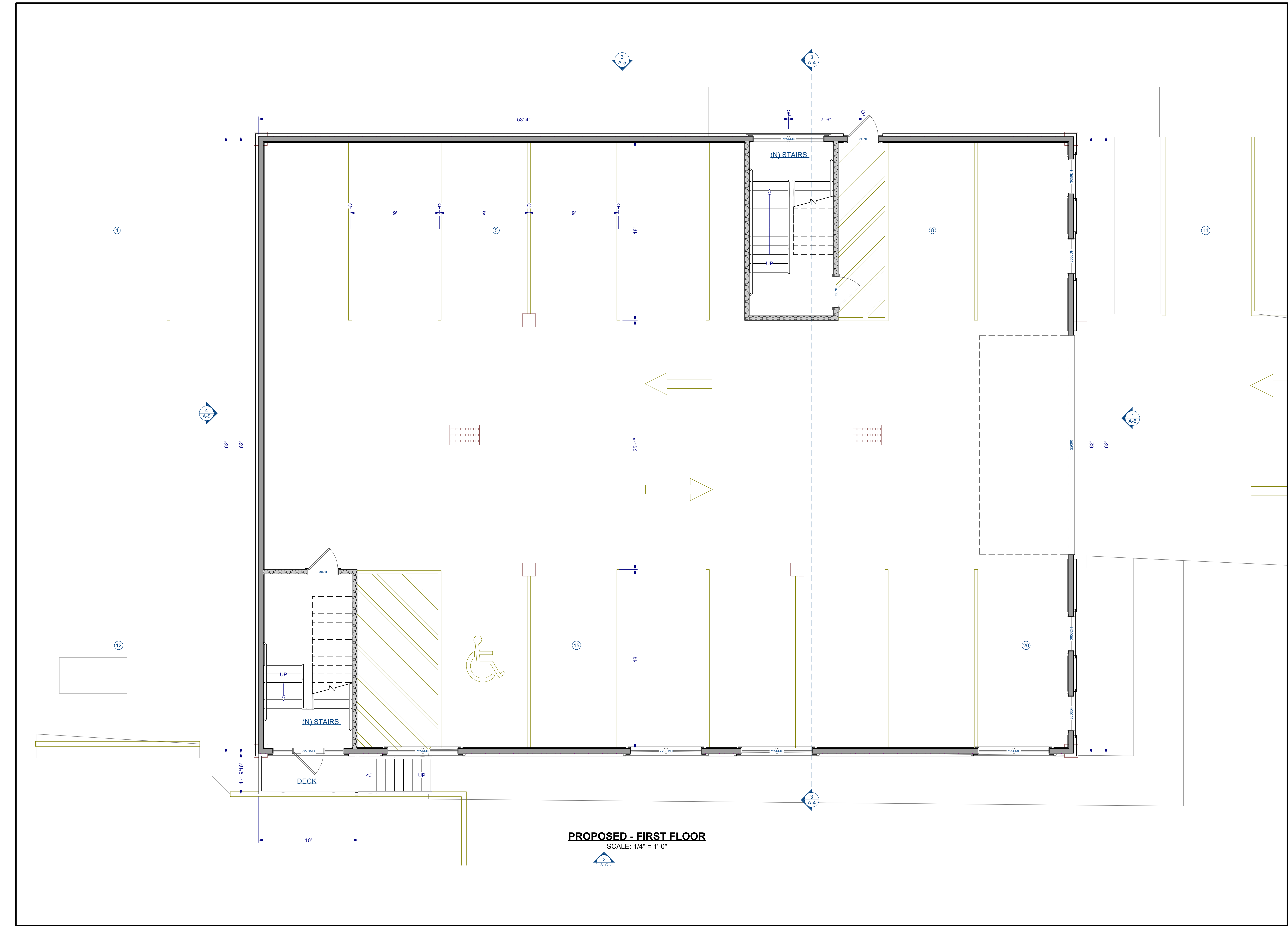
DRAWING NAME:
PROPOSED -
GROUND FLOOR
PLAN

PROJECT NUMBER: 23-083	DRAWN BY: RH/AA
SCALE: AS NOTED	DATE: 3/4/2024

SHEET NUMBER:
A-0

PROJECT NAME:
NEW CONSTRUCTION:
10 UNITS APARTMENT
BUILDING
85 LAKE AVE. NORTH
WORCESTER, MA

ACROPOLIS
 DESIGN CONSULTANTS
774-262-3187
 5 Brussels Street
 Building A, Rear 2nd Floor
 Worcester MA 01610
 (D) 774-262-3187
 (O) 774-243-6161
 Info@acropolisdesign.com



PROPOSED - FIRST FLOOR
 SCALE: 1/4" = 1'-0"

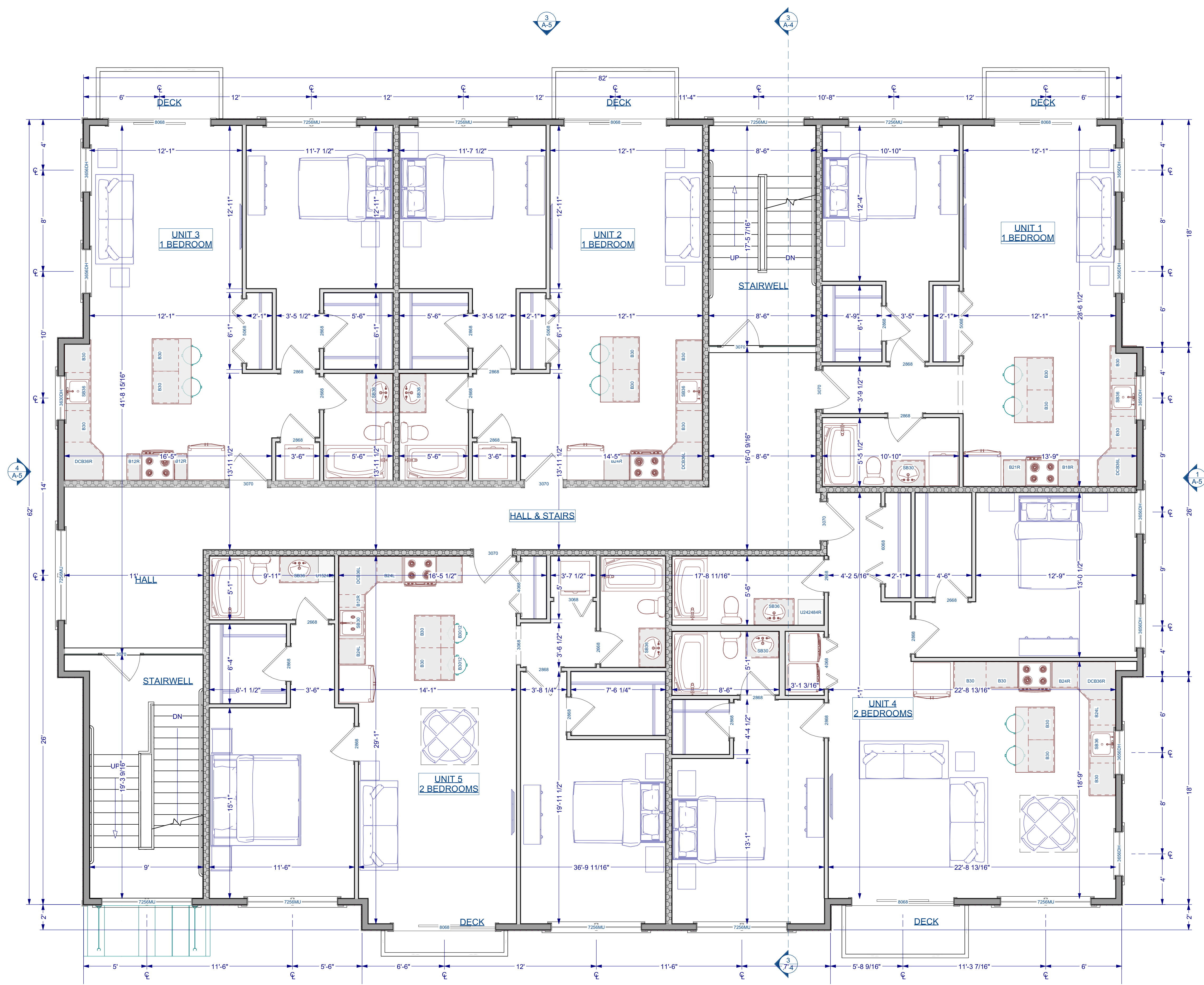
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NO.	DATE	DESCRIPTION

STAMP:
PROPOSED
NOT FOR
CONSTRUCTION

DRAWING NAME:
PROPOSED -
GROUND FLOOR
PLAN

PROJECT NUMBER: 23-083
 DRAWN BY: RH/AA
 SCALE: AS NOTED
 DATE: 3/4/2024

SHEET NUMBER:
A-1



PROPOSED - SECOND FLOOR
 SCALE: 1/4" = 1'-0"

REVISION TABLE	
NO.	DATE / DESCRIPTION

STAMP:
PROPOSED NOT FOR CONSTRUCTION

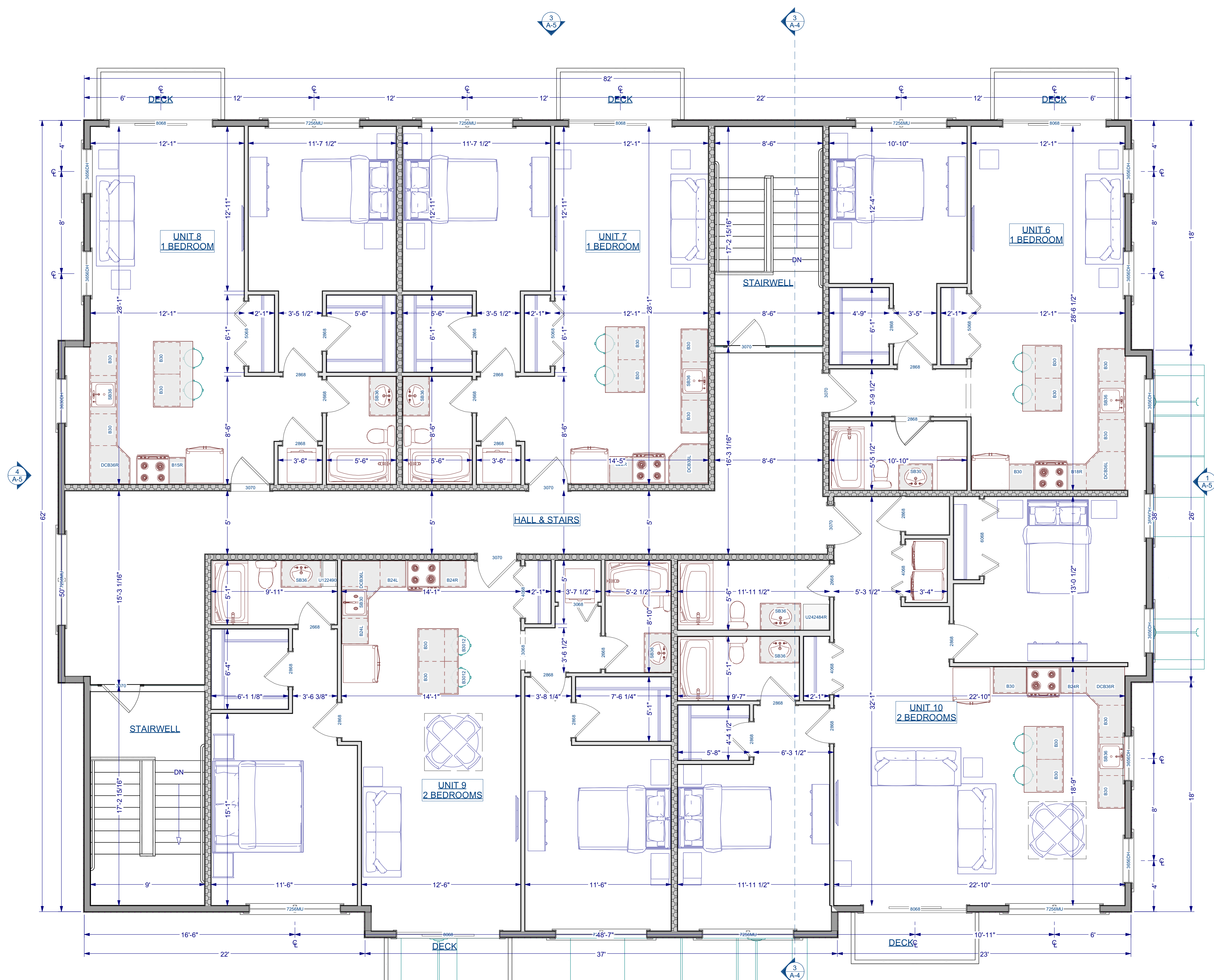
DRAWING NAME:
PROPOSED - SECOND FLOOR

PROJECT NUMBER: 23-083
 DRAWN BY: RH/AA
 SCALE: AS NOTED
 DATE: 3/4/2024

SHEET NUMBER:
A-2

PROJECT NAME:
NEW CONSTRUCTION:
10 UNITS APARTMENT
BUILDING
85 LAKE AVE. NORTH
WORCESTER, MA

ACROPOLIS
 DESIGN CONSULTANTS
 774-262-3187
 5 Brussels Street
 Building A, Rear 2nd Floor
 Worcester MA 01610
 (D) 774-262-3187
 (O) 774-243-6161
 Info@acropolisdesign.com



PROPOSED - THIRD FLOOR
 SCALE: 1/4" = 1'-0"

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
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NOT FOR
CONSTRUCTION

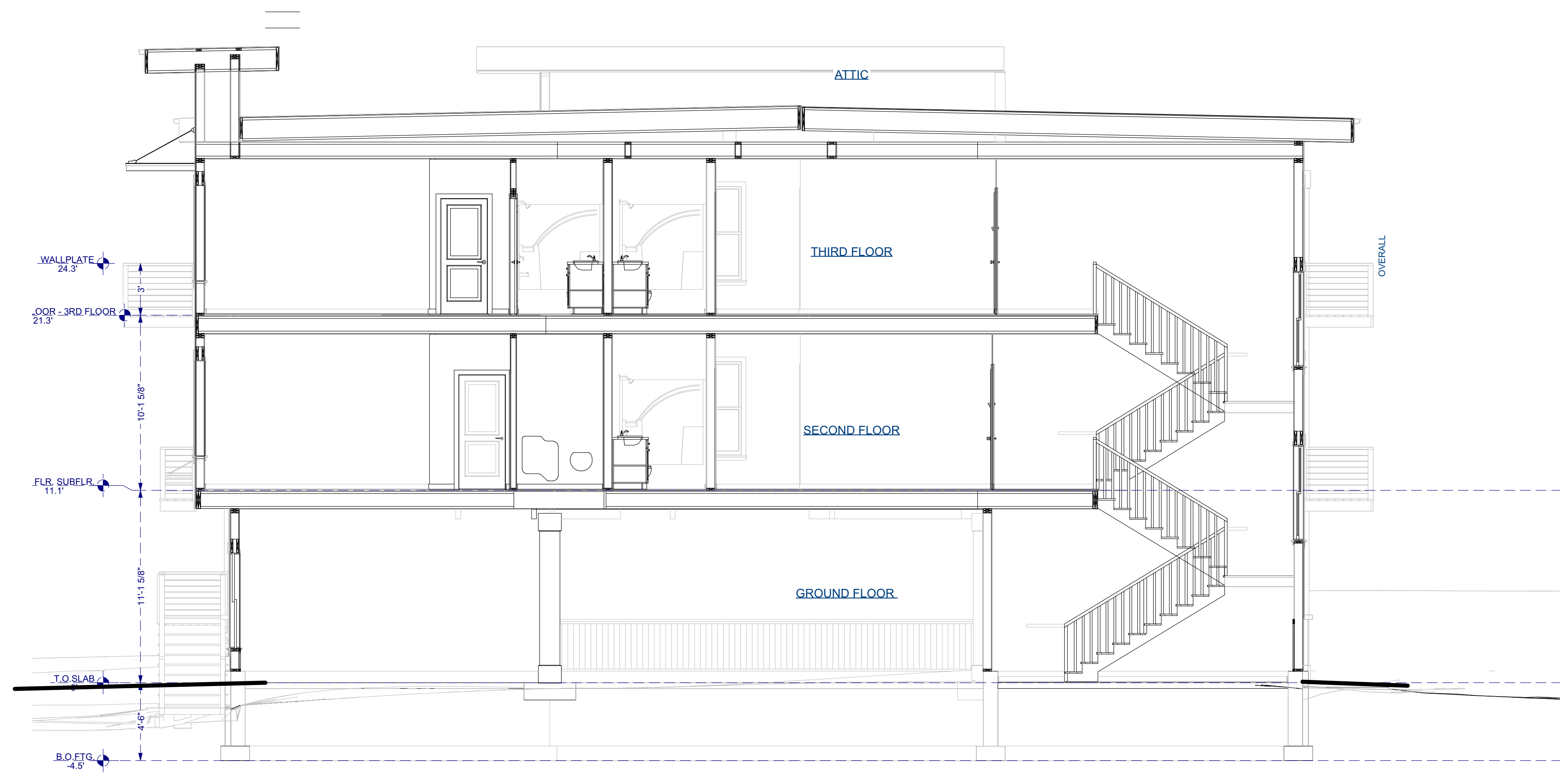
DRAWING NAME:
PROPOSED THIRD
FLOOR PLAN

PROJECT NUMBER: 23-083
 DRAWN BY: RH/AA
 SCALE: AS NOTED
 DATE: 3/4/2024

SHEET NUMBER:
A-3

PROJECT NAME:
NEW CONSTRUCTION:
10 UNITS APARTMENT BUILDING
85 LAKE AVE. NORTH WORCESTER, MA

ACROPOLIS
 DESIGN CONSULTANTS
 774-262-3187
 5 Brussels Street
 Building A, Rear 2nd Floor
 Worcester MA 01610
 (D) 774-262-3187
 (O) 774-243-6161
 Info@acropolisdesign.com



PROPOSED - SECTION "A"
 SCALE: 1/4" = 1'-0"

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
PROPOSED NOT FOR CONSTRUCTION

DRAWING NAME:
PROPOSED SECTION "A"

PROJECT NUMBER: 23-083	DRAWN BY: RH/AA
SCALE: AS NOTED	DATE: 3/4/2024

SHEET NUMBER:
A-4

PROJECT NAME:
 NEW CONSTRUCTION:
 10 UNITS APARTMENT
 BUILDING
 85 LAKE AVE. NORTH
 WORCESTER, MA

ACROPOLIS
 DESIGN CONSULTANTS
 774-262-3187
 5 Brussels Street
 Building A, Rear 2nd Floor
 Worcester MA 01610
 (D) 774-262-3187
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 Info@acropolisdesign.com



PROPOSED - FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED - LEFT ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED - REAR ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED - RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION TABLE		
NO.	DATE	DESCRIPTION

STAMP:
**PROPOSED
 NOT FOR
 CONSTRUCTION**

DRAWING NAME:
**PROPOSED
 BUILDING
 ELEVATIONS**

PROJECT NUMBER: 23-083
 SCALE: AS NOTED
 DRAWN BY: RH/AA
 DATE: 3/4/2024

SHEET NUMBER:
A-5